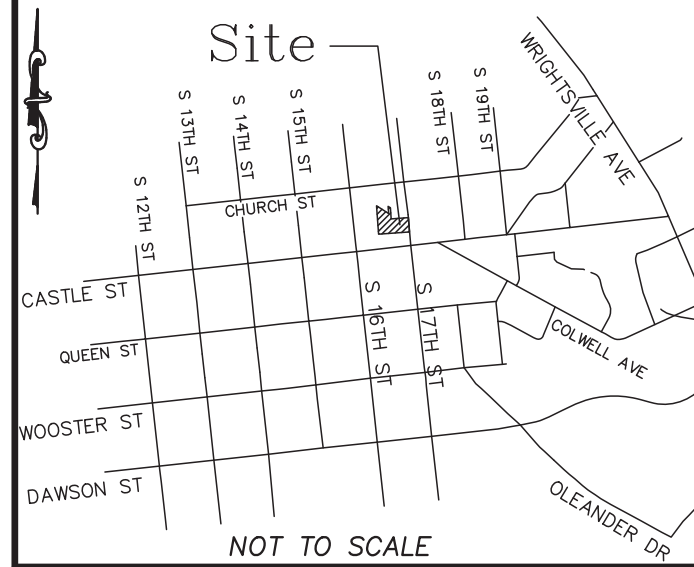


LOCATION MAP



CONSTRUCTION DRAWINGS for
STUDIO 17 APARTMENTS

LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

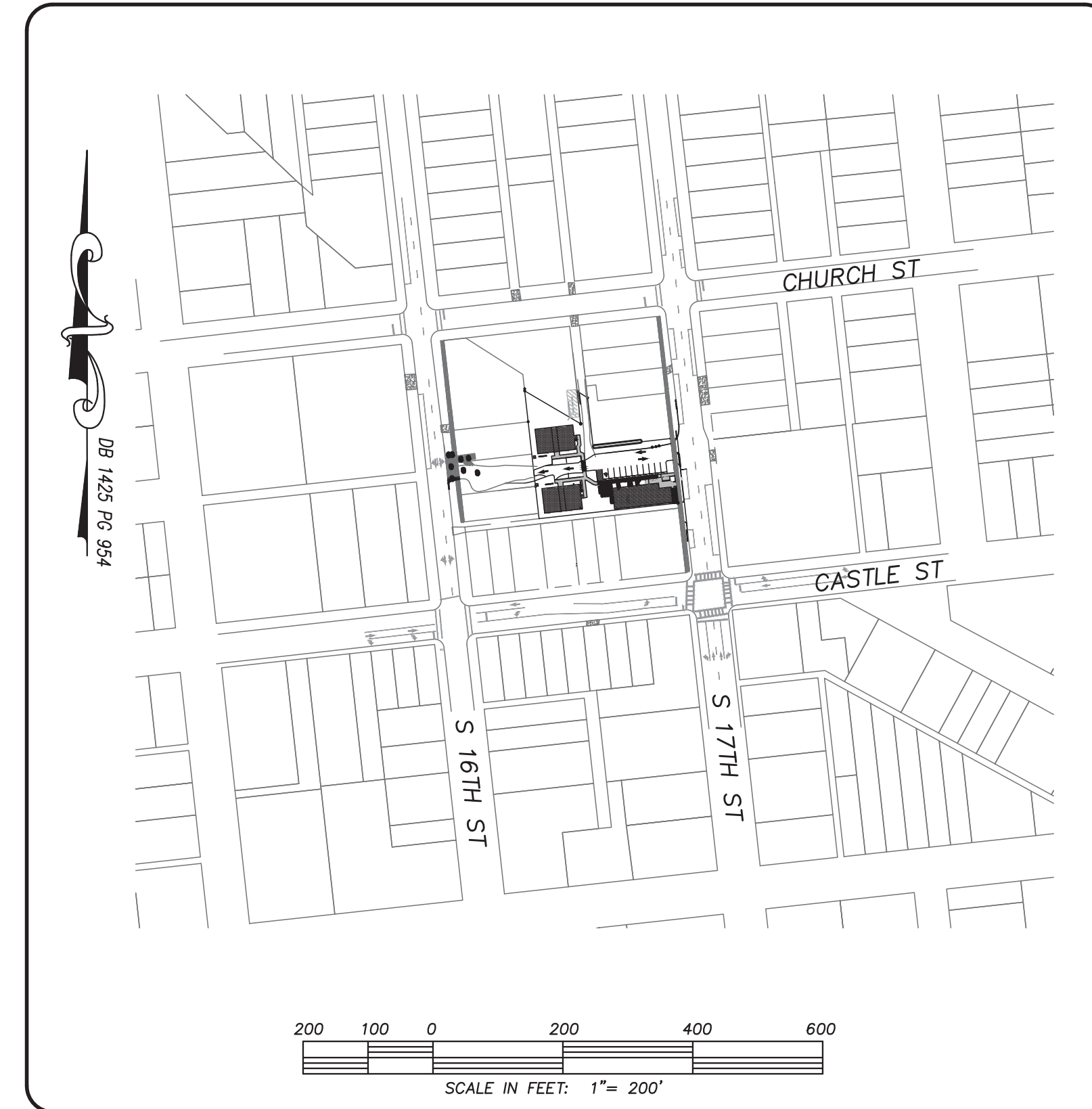
Signed: _____

GENERAL NOTES:

1. NEW HANOVER COUNTY PARCEL NUMBERS: PID = R05407-029-012-000
2. TOTAL PROJECT AREA: 261,225 SF (0.65 AC.)
3. EXISTING ZONING DISTRICT: UMX
4. LAND CLASSIFICATION: URBAN
5. THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700J, EFFECTIVE DATE 4/3/06
6. SITE ADDRESS: 514 S. 17TH STREET
7. EXISTING IMPERVIOUS ONSITE = 11,180 SF
8. ASBUILT BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY CAPE FEAR SURVEYING; VERTICAL DATUM = 88
9. STORMWATER DRAINS TO BURNT MILL CREEK, C,SW 18-74-63-2

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE 50 GPD	PROPOSED WATER USAGE 7,730 GPD
CURRENT SEWER USAGE 50 GPD	PROPOSED SEWER USAGE 7,730 GPD
WATER - (32) - 1 BEDROOM X 240 GPD = 7,680 GPD	RETAIL - 2 EMPLOYEES = 50 GPD
SEWER - (32) - 1 BEDROOM X 240 GPD = 7,680 GPD	RETAIL - 2 EMPLOYEES = 50 GPD



WATER (PUBLIC)

SIZE	6"	4"	3"
TYPE	C-900	C-900	SDR-21
LF	8	5	3

WATER (PRIVATE)

SIZE	6"	3"	2"
TYPE	C-900	SDR-21	SDR-21
LF	135	132	235

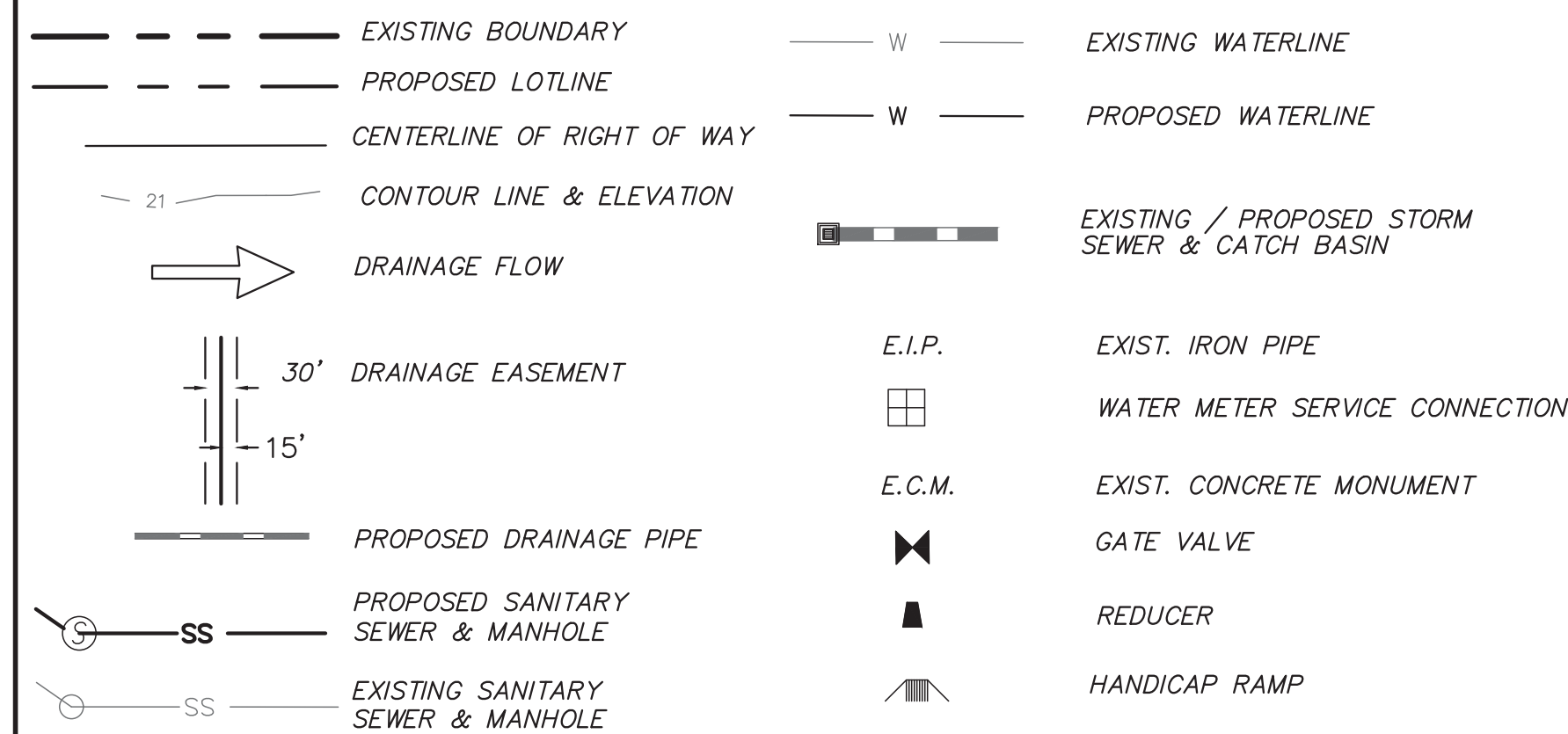
SEWER (PRIVATE)

SIZE	6"	6"
TYPE	C-900	DIP
LF	154	20

INDEX TO DRAWINGS

SHEET No.	DESCRIPTION	DRAWING No.
1 OF 12	COVER SHEET	CD_COVER
2 OF 12	EXISTING BOUNDARY AND TOPOGRAPHY, ADJACENT TRAFFIC	CD_EX-COND
3 OF 12	SITE PLAN	SITE_PLAN
4 OF 12	CITY OF WILMINGTON CONSTRUCTION DETAILS	SP_DET-1
5 OF 12	CITY OF WILMINGTON CONSTRUCTION DETAILS	SP_DET-2
6 OF 12	UTILITY PLAN	UP
7 OF 12	GRADING PLAN	GRADING
8 OF 12	CFPUA INSTALLATION DETAILS	CFPUA_WAT_SEW_1
9 OF 12	CFPUA INSTALLATION DETAILS	CFPUA_WAT_SEW_2
10 OF 12	CFPUA WATER DETAILS	CFPUA_WATER
11 OF 12	CFPUA SEWER DETAILS	CFPUA_SEWER_1
12 OF 12	CFPUA SEWER DETAILS	CFPUA_SEWER_2
LP1 OF LP1	LANDSCAPING PLAN	LP
1 OF 3	NCDOT ENCROACHMENT PLAN	DOT_ENCR
2 OF 3	NCDOT TRAFFIC CONTROL PLAN	DOT_TCP
3 OF 3	NCDOT STANDARD DETAILS	DOT_DET

LEGEND



OWNER: MOSLEY PARK, LLC
 1319 MILITARY CUTOFF
 SUITE CC PMB 172
 WILMINGTON, NC 28405

NOTES:

1. ASBUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY CAPE FEAR SURVEYING; 1 NORTH 6TH STREET WILMINGTON, NC 28401, 910-762-9496 FIRM #C-3199
2. THIS MAP IS NOT FOR CONVEYANCE, RECORDATION, OR SALES.
3. THIS PROPERTY IS LOCATED WITHIN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720312700J, EFFECTIVE DATE 4/3/06
4. THIS PROPERTY IS ZONED UMX
5. CFPUA WATER
6. CFPUA SEWER
7. ALL CONSTRUCTION TO CONFORM TO NEW HANOVER COUNTY STANDARDS AND APPLICABLE STATE & LOCAL CODES.
8. CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH CITY OF WILMINGTON AND OR NCDOT.
9. CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO RECEIVING STRUCTURES. ROOF DRAIN DOWNSPOUTS TO BE CONNECTED TO STORM DRAINAGE STUBOUTS OR DIRECTED TO STREET/PARKING AREAS.
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, RE-ALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
11. CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
12. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
13. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
14. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
15. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
16. NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
17. CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE STREET INLETS AND CATCH BASINS. ALL FUTURE ROOF DRAIN DOWNSPOUTS TO BE DIRECTED TO THE STORM DRAINAGE STUBOUTS.
18. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
19. THIS PLAN IS FOR SITE GRADING, UTILITIES, SITING, AND DRAINAGE ONLY. SEE BUILDING PLANS FOR DETAILED HOOKUPS TO BUILDINGS, ETC.
20. CONTRACTOR AND BUILDER ARE RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATION OF ALL BUILDINGS WITH THE OWNER. ELEVATIONS GIVEN ARE MINIMUM GROUND ELEVATIONS AT THE BUILDING SITE AND DO NOT PURPORT TO BE FINISHED FLOOR. MINIMUM RECOMMENDED FF ELEVATIONS SHOWN ON PLANS.
21. AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT.
22. EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
23. MINIMUM SEPARATION SHALL BE MAINTAINED AS FOLLOWS:
 - a. HORIZONTAL SEPARATION OF 10 FEET BETWEEN SANITARY SEWER AND WATER MAINS AND STORM SEWER.
 - b. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND WATER OR WHERE SEWER LINE CROSSES ABOVE WATER MAIN, BOTH PIPES SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
 - c. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING.
 - d. WHERE VERTICAL CLEARANCE IS LESS THAN 12" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING, AND BRIDGING SHALL BE INSTALLED PER APPLICABLE UTILITY AUTHORITY'S DETAILS.
 - e. IN NO CASE SHALL THERE BE LESS THAN 18" OF SEPARATION BETWEEN OUTSIDE OF WATER MAIN AND OUTSIDE OF SEWER OR STORM DRAINAGE.
 - f. MINIMUM COVER OF 36" SHALL BE PROVIDED FOR ALL BURIED WATER MAINS AND SANITARY SEWER MAINS.
24. SEE DETAIL SHEETS FOR TYPICAL UTILITIES HOOKUPS.
25. ALL SANITARY SEWER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
26. ALL WATER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
27. TWO VALVES ARE REQUIRED AT "T" INTERSECTIONS AND ONE VALVE ON THE WATER LINE TO FIRE HYDRANTS.
28. A BLOW-OFF VALVE IS REQUIRED AT THE TERMINUS OF ALL "DEAD END" WATER LINES.

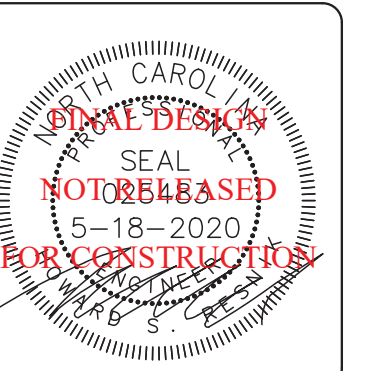


LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

COVER SHEET
 STUDIO 17 APARTMENTS

COVER SHEET FOR
 STUDIO 17 APARTMENTS
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA
 OWNER: MOSLEY PARK, LLC
 1319 MILITARY CUTOFF
 SUITE CC PMB 172
 WILMINGTON, NC 28405



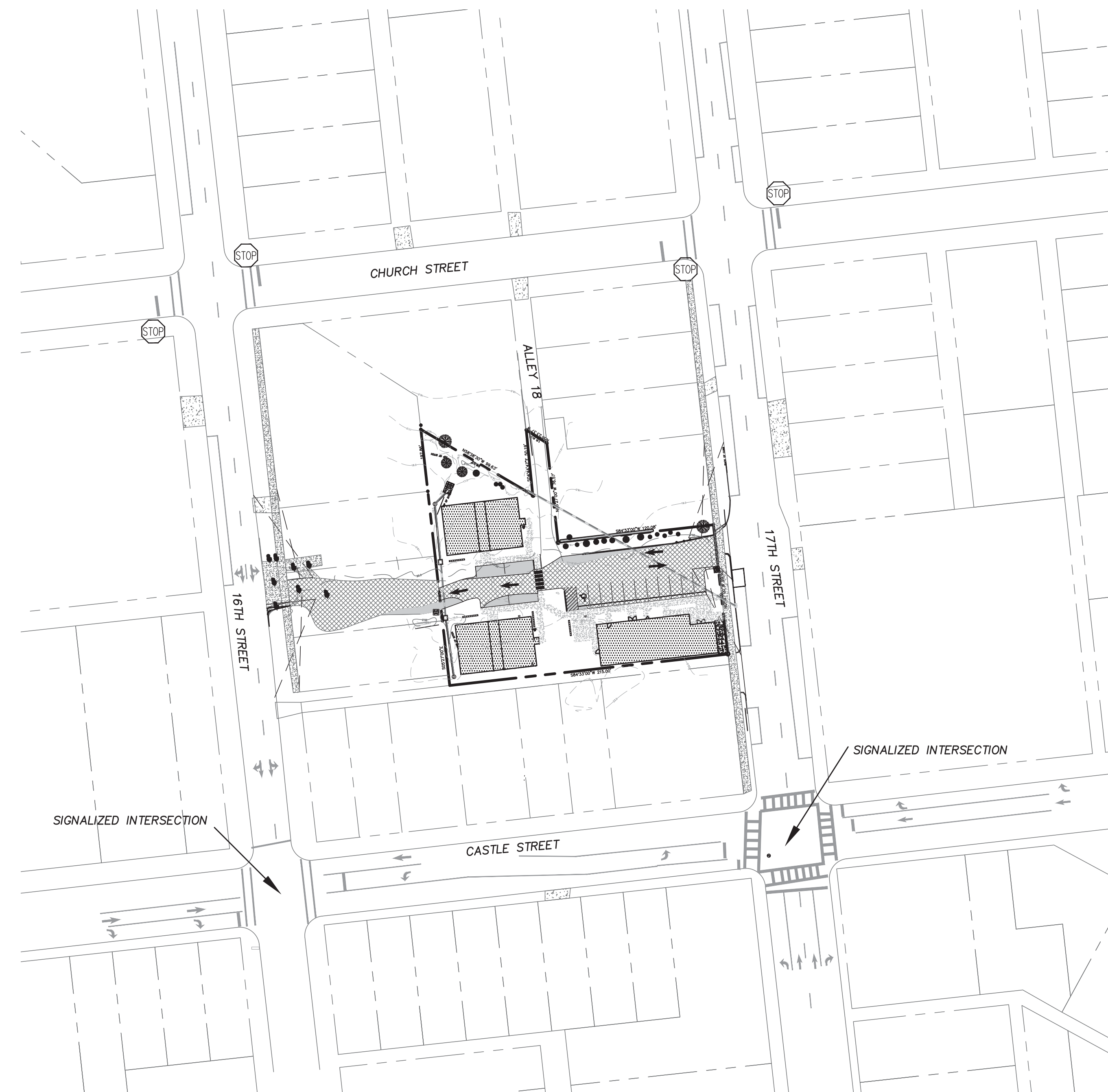
REV.	DATE	BY	REMARKS
5-18-20			
4	5-18-20	MRB	REVISED WATER MAIN LOCATION & WATER MAIN SIZE
3	5-18-20	MRB	REVISED SHEET NUMBERING PER NEW CFPUA DETAILS
2	5-18-20	MRB	REVISED WATER MAIN TABLES
1	5-18-20	MRB	REVISED WATER MAIN TABLES

DATE: 1-22-18
 HORZ. SCALE: 1" = 200'
 VERT. SCALE: N/A
 DRAWN BY: MRB
 CHECKED BY: HSR
 PROJECT NO.: 17-0434

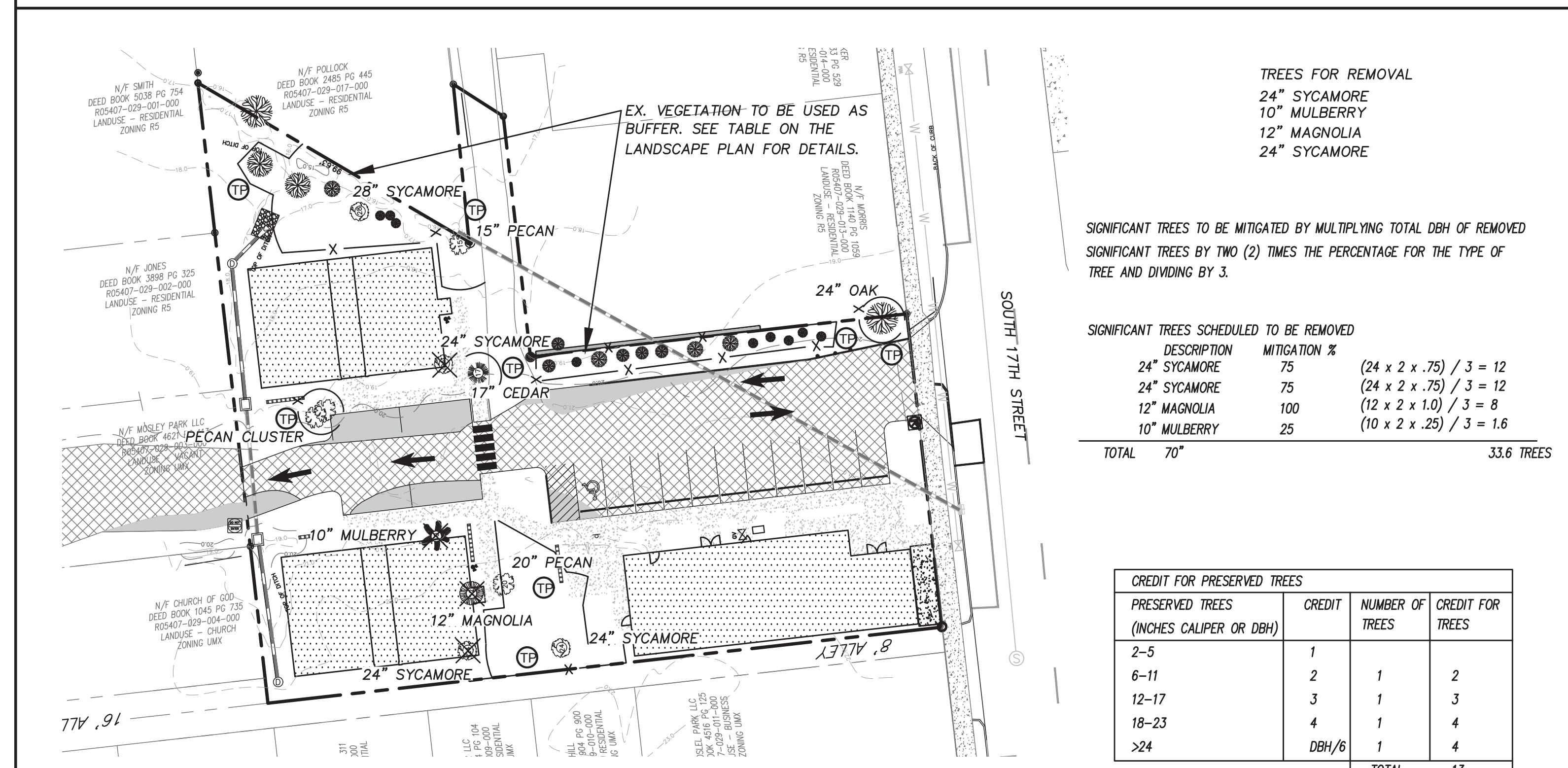
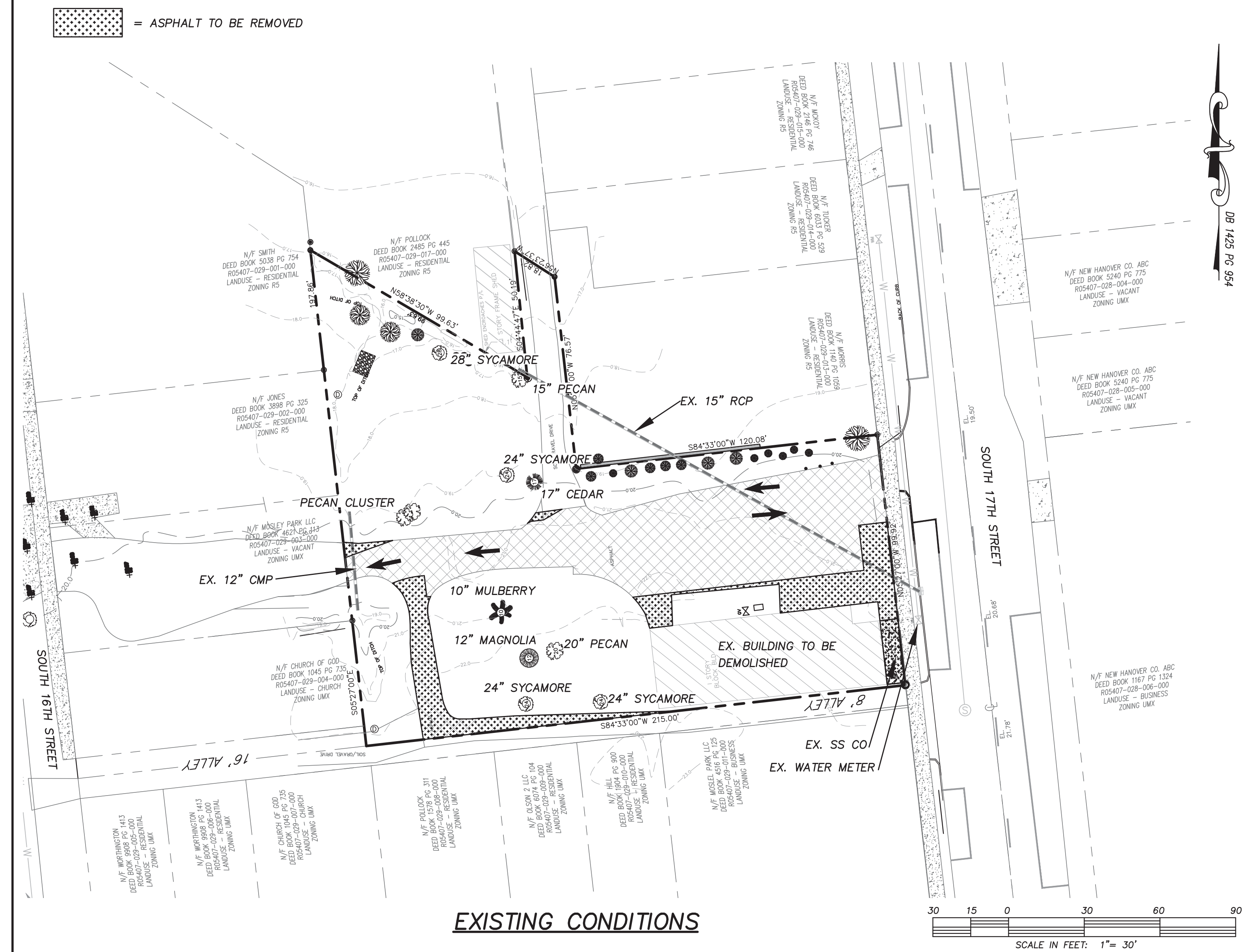
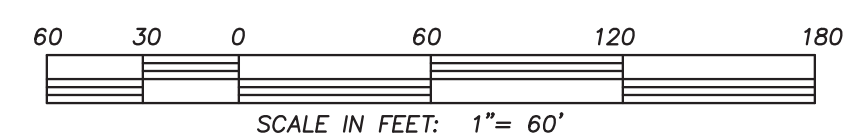
Approved Construction Plan

Name _____ Date _____
Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



ADJACENT TRAFFIC PATTERNS



TREES FOR REMOVAL

- 24" SYCAMORE
- 10" MULBERRY
- 12" MAGNOLIA
- 24" SYCAMORE

EX. VEGETATION TO BE USED AS BUFFER. SEE TABLE ON THE LANDSCAPE PLAN FOR DETAILS.

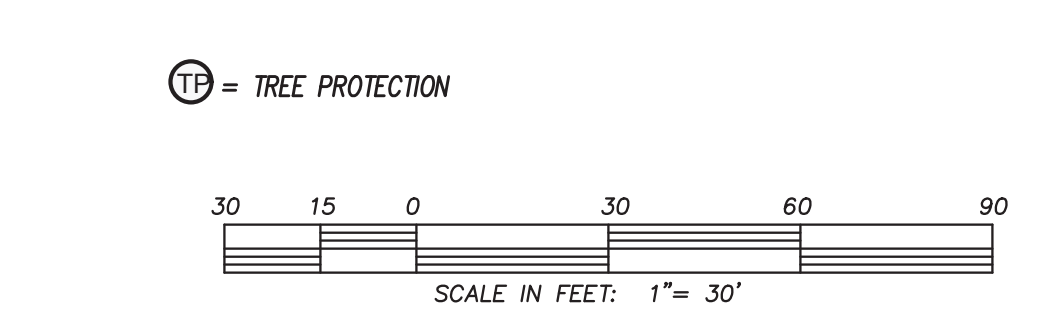
SIGNIFICANT TREES TO BE MITIGATED BY MULTIPLYING TOTAL DBH OF REMOVED SIGNIFICANT TREES BY TWO (2) TIMES THE PERCENTAGE FOR THE TYPE OF TREE AND DIVIDING BY 3.

DESCRIPTION	MITIGATION %
24" SYCAMORE	$(24 \times 2 \times .75) / 3 = 12$
24" SYCAMORE	$(24 \times 2 \times .75) / 3 = 12$
12" MAGNOLIA	$(12 \times 2 \times 1.0) / 3 = 8$
10" MULBERRY	$(10 \times 2 \times .25) / 3 = 1.6$
TOTAL	70"

33.6 TREES

CREDIT FOR PRESERVED TREES

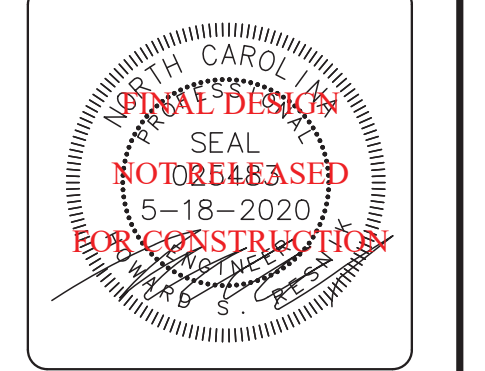
PRESERVED TREES (INCHES CALIPER OR DBH)	CREDIT	NUMBER OF TREES	CREDIT FOR TREES
2-5	1		
6-11	2	1	2
12-17	3	1	3
18-23	4	1	4
>24	DBH/6	1	4
TOTAL			13



CSD ENGINEERING
LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL
P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

EXISTING CONDITIONS
STUDIO 17 APARTMENTS

EXISTING CONDITIONS FOR
STUDIO 17 APARTMENTS
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: MOSLEY PARK, LLC
1319 MILITARY CUTOFF
SUITE CC PMB 172
WILMINGTON, NC 28405



REV.	DATE	BY	REMARKS
5-18-20			
4-18-19			
3-18-18			
2-18-17			
1-18-16			

DATE: 1-22-18
HORZ. SCALE: AS NOTED
VERT. SCALE: N/A
DRAWN BY: MRB
CHECKED BY: HSR
PROJECT NO.: 17-0434
Sheet No. **2** of **12**

SITE & BUILDING DATA:

TOTAL LOT AREA = 28,125 SF (0.65 AC.)
 PROPERTY ADDRESS IS 514 S 17TH STREET
 PID = R05407-029-012-000
 EXISTING ON-SITE DATA:
 EXISTING BUILDINGS ON SITE = 2,878 SF (FOOTPRINT)
 EXISTING ASPHALT = 8,302 SF
 TOTAL = 11,180 SF
 EXISTING IMPERVIOUS
 PROPOSED IMPERVIOUS
 PROPOSED BUILDINGS (1-2) = 4,499 SF (FOOTPRINT)
 PROPOSED BUILDING (3) = 2,742 SF (FOOTPRINT)
 PROPOSED ASPHALT & CURBING = 1,241 SF
 PROPOSED SIDEWALKS = 1,451 SF
 TOTAL = 9,933 SF
 EXISTING IMPERVIOUS TO REMAIN = 5,977 SF
 EXISTING ASPHALT = 5,977 SF
 TOTAL = 5,977 SF
 15,910 / 28,125 = 0.57 OR 57% IMPERVIOUS
 1,028 SF OF PERVIOUS SIDEWALK TO BE INSTALLED
 EXISTING ON-SITE IMPERVIOUS TO BE REMOVED = 2,325 SF
 OFF-SITE IMPERVIOUS TO BE ADDED = 372 SF
 SOIL GROUPS ON-SITE
 L0 - LEON-URBAN LAND
 SSS SOIL GROUP "A/D" PER USDA SOIL SURVEY WEB SITE

BUILDING DATA:
 NUMBER OF BUILDINGS = 3
 BUILDING 1: (12) - 1 BEDROOM UNITS
 BUILDING 2: (12) - 1 BEDROOM UNITS
 EX BUILDING: (8) - 1 BEDROOM UNITS
 TOTAL UNITS = 32
 SF PER FLOOR
 BUILDINGS 1 & 2:
 1ST FLOOR = 2,230 SF
 2ND FLOOR = 2,230 SF
 3RD FLOOR = 2,230 SF
 EXISTING BUILDING
 1ST FLOOR = 2,742 SF
 2ND FLOOR = 2,742 SF
 3RD FLOOR = 2,742 SF
 BUILDING HEIGHT = 35 FT
 NUMBER OF STORIES = 3
 BUILDING TYPE = V SPRINKLED
 BUILDING USE = APARTMENTS
 BUILDING AREA: 7,241 SF (FOOTPRINT)
 LOT COVERAGE: 7,241 SF / 28,125 SF = 0.26
 PROPOSED 26% BUILDING LOT COVERAGE

BUILDING SETBACKS:
 REQUIRED SETBACKS PROPOSED SETBACKS
 UNX - ABUTTING RS
 FRONT SETBACK: 0 FT, 5 FT FRONT SETBACK: 7.1 FT
 SIDE SETBACK: 0 FT, 5 FT SIDE SETBACK: 7.5 FT, 9.5 FT
 REAR SETBACK: 0 FT, 5 FT REAR SETBACK: 9.1, 9.5 FT

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

TRAFFIC ENGINEERING NOTES:

- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAN. PLAN SHALL ADHERE TO SD 15-17.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- OPEN CUT NOTES:
 A. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 B. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
 C. SUFFICIENT COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
 D. OPEN CUT TO BE SAW CUT.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON TRAFFIC ENGINEERING REGARDING UTILITIES IN THE ROW. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 A. ALL SIGNS AND MARKINGS TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 B. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 C. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 D. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
 E. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 F. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT.

ENVIRONMENTAL NOTES:

- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

DEVELOPMENT NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL 811-0000 AT 1-800-432-4040. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND CUTTER, SIDEWALK PANELS, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- EACH UNIT WILL UTILIZE COW HAND TOTES FOR SOLID WASTE DISPOSAL. TOTES WILL BE STORED IN A DUMPSTER TOTE CORRAL.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATION STANDARDS.
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
- PRIMARY BUILDING ENTRANCES SHALL BE CLEARLY DEFINED AND SHALL BE RECESSED AT LEAST FIVE FEET OF FRAMED BY AN ARCHITECTURAL ELEMENT. PRIMARY ENTRANCES SHOULD BE CLEARLY DISTINCTIVE FROM OTHER ENTRANCES. SECONDARY OUTSIDE BUILDING ENTRANCES TO UPPER FLOORS ON THE PRIMARY FACADE SHALL ALIGN WITH THE OUTER MOST WINDOW ON THE FRONT FACADE.
- IF UNITS ARE SOLD AT ANY POINT, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.

FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM COW FIRE AND LIFE SAFETY DIVISION. 910-343-0696.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERED TO THE JOB SITE.
- HYDRANTS MUST BE WITHIN 150 FT OF THE FDC (MEASURED AS THE TRUCK DRIVES).
- FDC MUST BE WITHIN 40 FT OF FIRE APPARATUS PLACEMENT.
- ALL ISOLATION VALVES WITH THE "HOT BOX" MUST BE ELECTRICALLY SUPERVISED.
- EFFECTIVE 11-1-2019, CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CPDIA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CPDIA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CPDIA AND APPROVED BY USFCOZCR OR ASSE. CALL 799-6064 FOR INFORMATION.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INCHES THAT DEMONSTRATES EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL VALVES AND FITTINGS. THE WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO 40 FT FUTURE LOCATION OF FACILITIES.
- MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CPDIA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- UNDERGROUND UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.

LANDSCAPE NOTES:

SITE LIGHTING

- ALL SITE LIGHTING SHALL BE LOCATED, ANGGLED, SHIELDED AND/OR LIMITED IN INTENSITY SO AS TO CAST NO DIRECT LIGHT UPON ADJACENT PROPERTIES. SHALL MINIMIZE OFF-SITE BACKLIGHTING GLARE, AND UP-LIGHTING. LIGHT POST SHALL BE NO TALLER THAN TWELVE (12) FT.

PARKING NOTES:

- NO PARKING REQUIRED FOR UNX
- 15 SPACES SHOWN
- BICYCLE PARKING
- 27 SPACES REQUIRED
- PARKING MAXIMUM (32 X 2.5) + (2,878/200) = 94
- 1 HANDICAP SPACE REQUIRED. 1 PROVIDED

VARIANCE REQUEST

- VARIANCE REQUEST FOR 75 FT OFFSET FOR DRIVEWAYS ALONG MAJOR THOROUGHFARES

GENERAL NOTES:

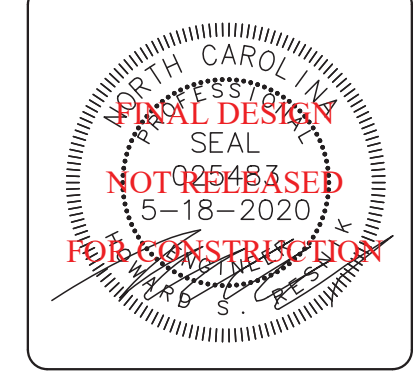
- NEW HANOVER COUNTY PARCEL NUMBERS:
 PID = R05407-029-012-000
- TOTAL PROJECT AREA: 28,125 SF (0.65 AC.)
- EXISTING ZONING DISTRICT: UNX
- LAND CLASSIFICATION: URBAN
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700A, EFFECTIVE DATE 4/3/06
- SITE ADDRESS: 514 S. 17TH STREET
- EXISTING IMPERVIOUS ON-SITE = 11,180 SF
- AS-BUILT BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY CAPE FEAR SURVEYING. VERTICAL DATUM = 88
- STORMWATER DRAINS TO BURNT MILL CREEK, C; SW 18-74-63-2



LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

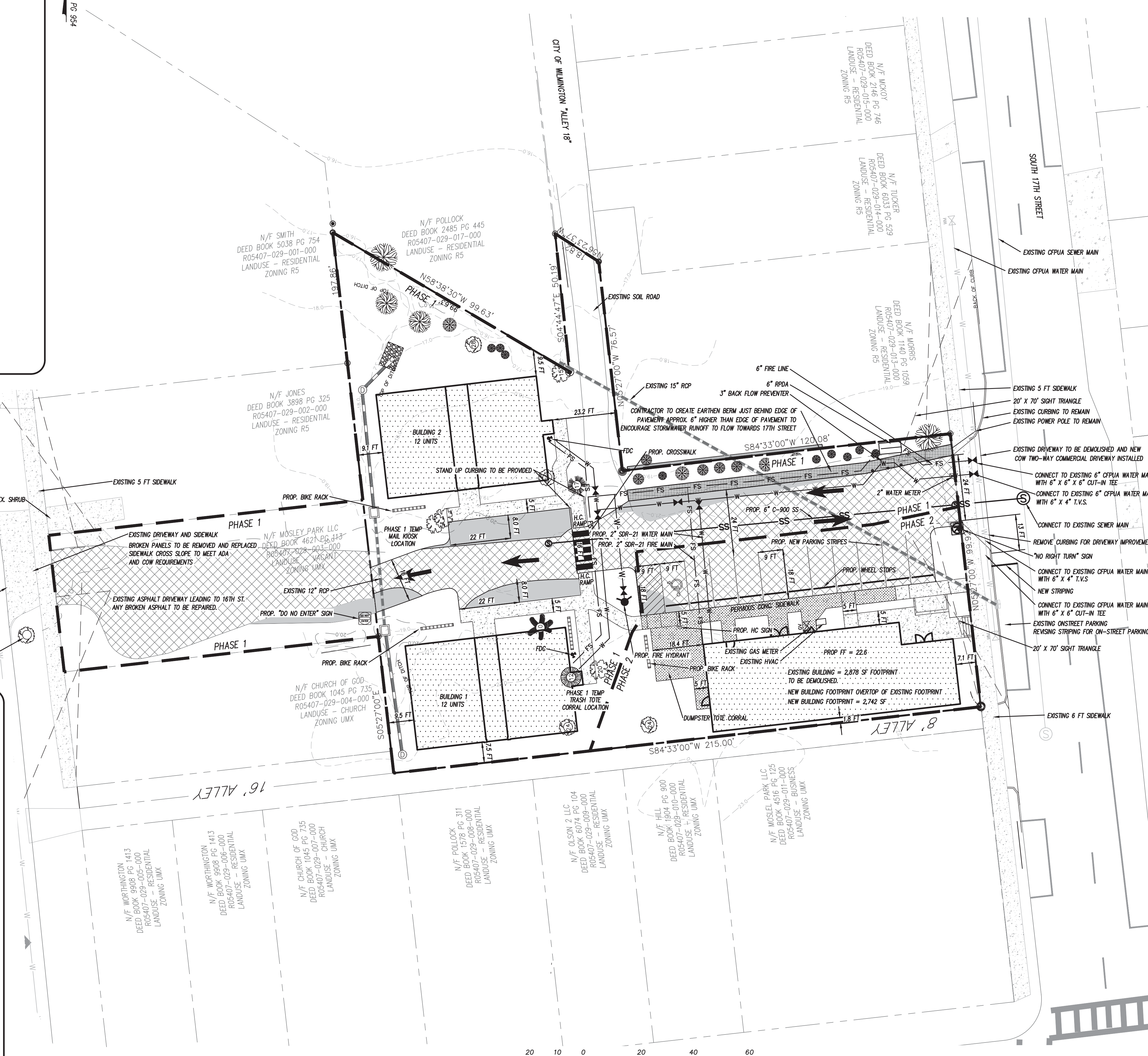
SITE PLAN
STUDIO 17 APARTMENTS

LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA
 OWNER: MOSLEY PARK, LLC
 1319 MILITARY CUTOFF
 SUITE CC PMB 172
 WILMINGTON, NC 28405



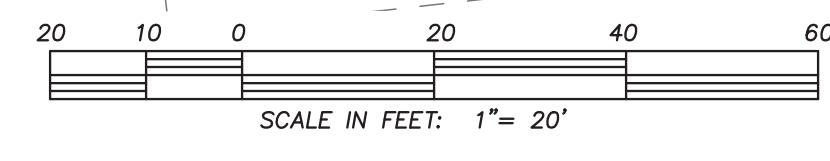
REV.	DATE	BY	REMARKS
12	11-18-20	RLW	REVISED FOR THE SIDEWALK, ADDED PHASE LINES
11	11-18-20	RLW	REVISED TO SHOW PHASING
10	11-18-20	RLW	ADDED PERVIOUS SIDEWALK, REVISED IMPERVIOUS NUMBERS
9	11-18-20	RLW	REVISED SIDEWALK, BUILDING AND NOTES
8	11-18-20	RLW	REVISED UTILITIES
7	11-18-20	RLW	REVISED SHEET NUMBERING PER NEW CPDIA DETAILS
6	11-18-20	RLW	ADDED DIMENSION TO HC STALL PER IHC BUILDING REVIEW COMMENT
5	10-28-18	MBG	CORRECTED DOMESTIC & FIRE WATER MAIN LINE TYPES

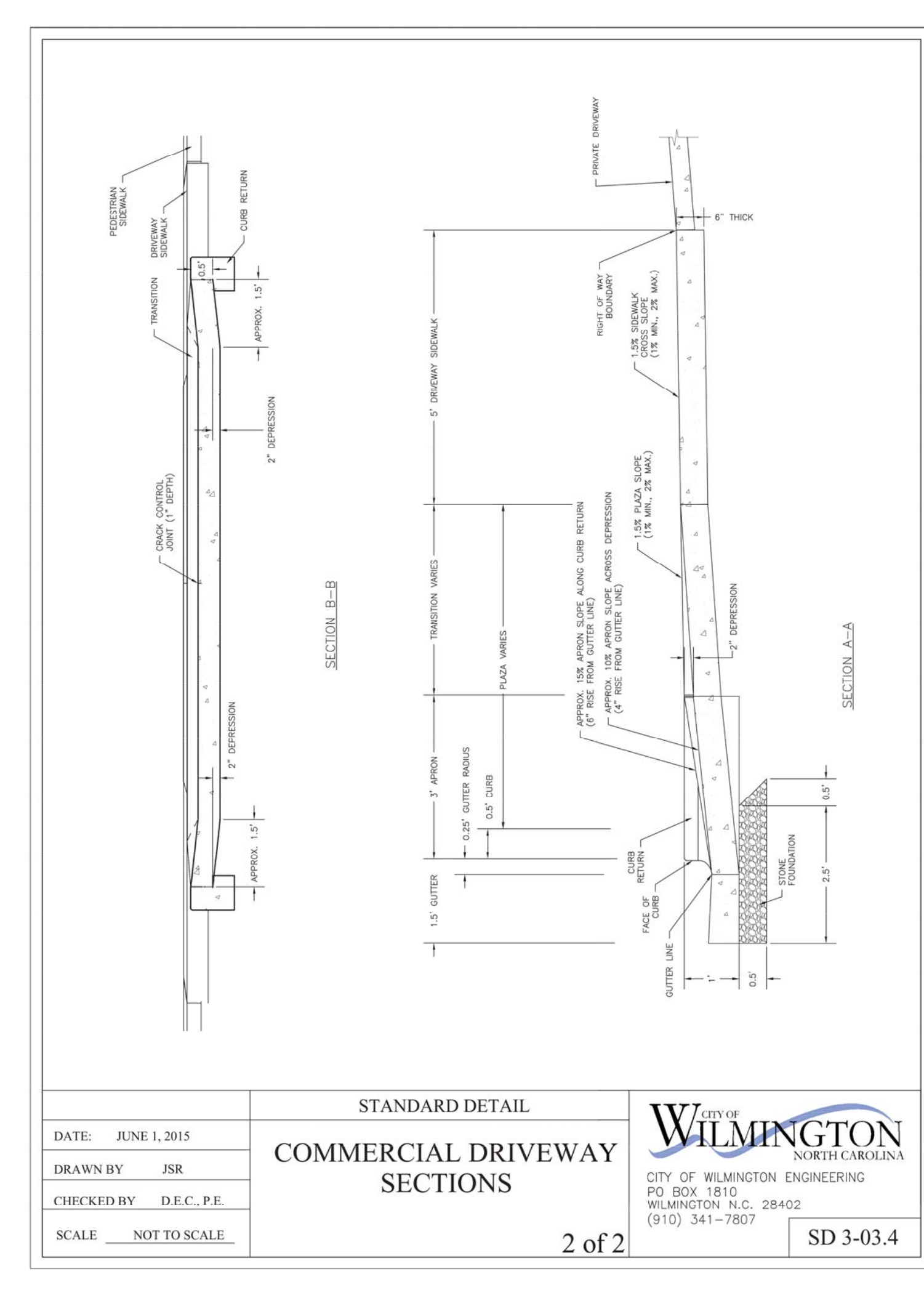
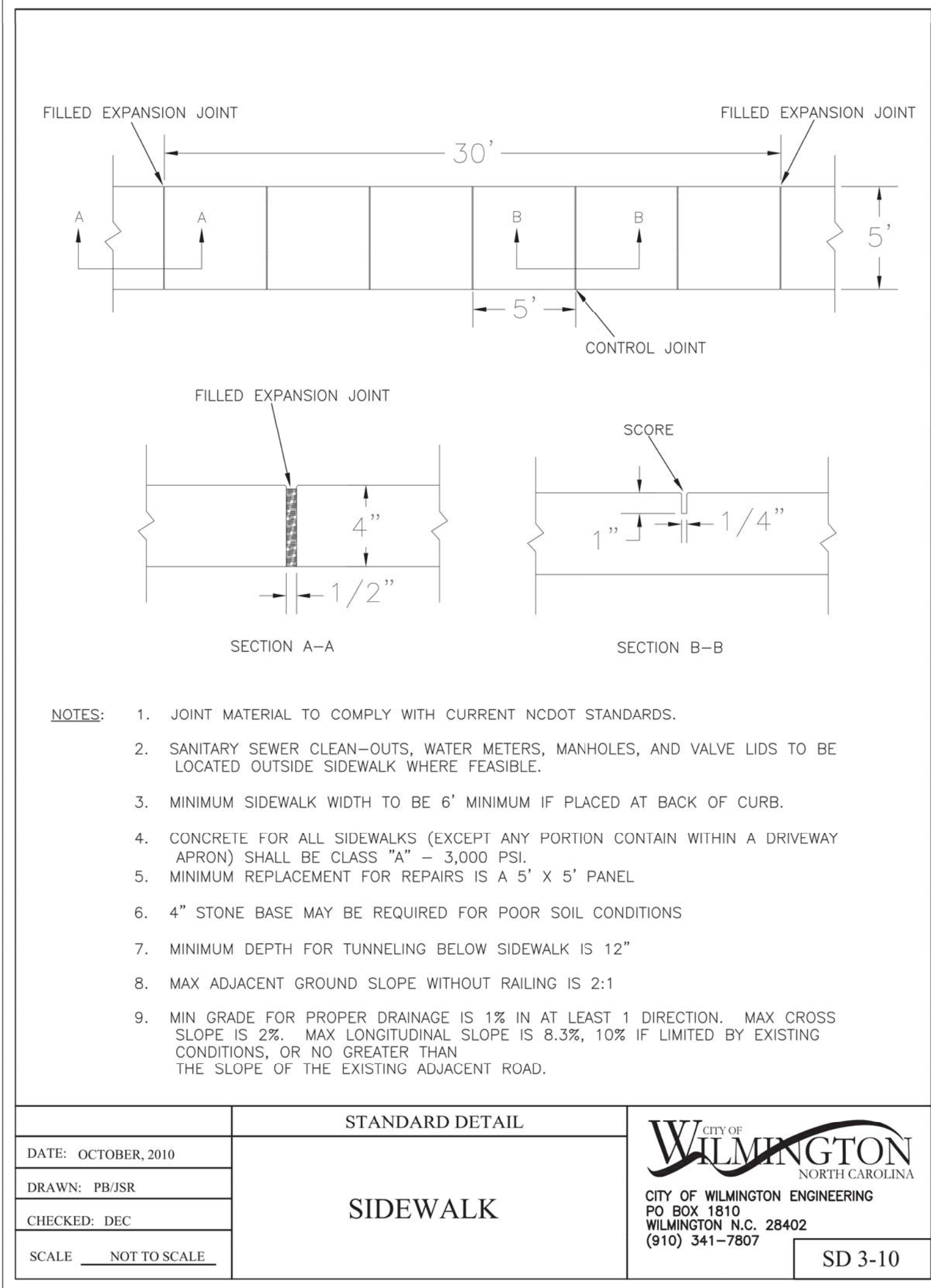
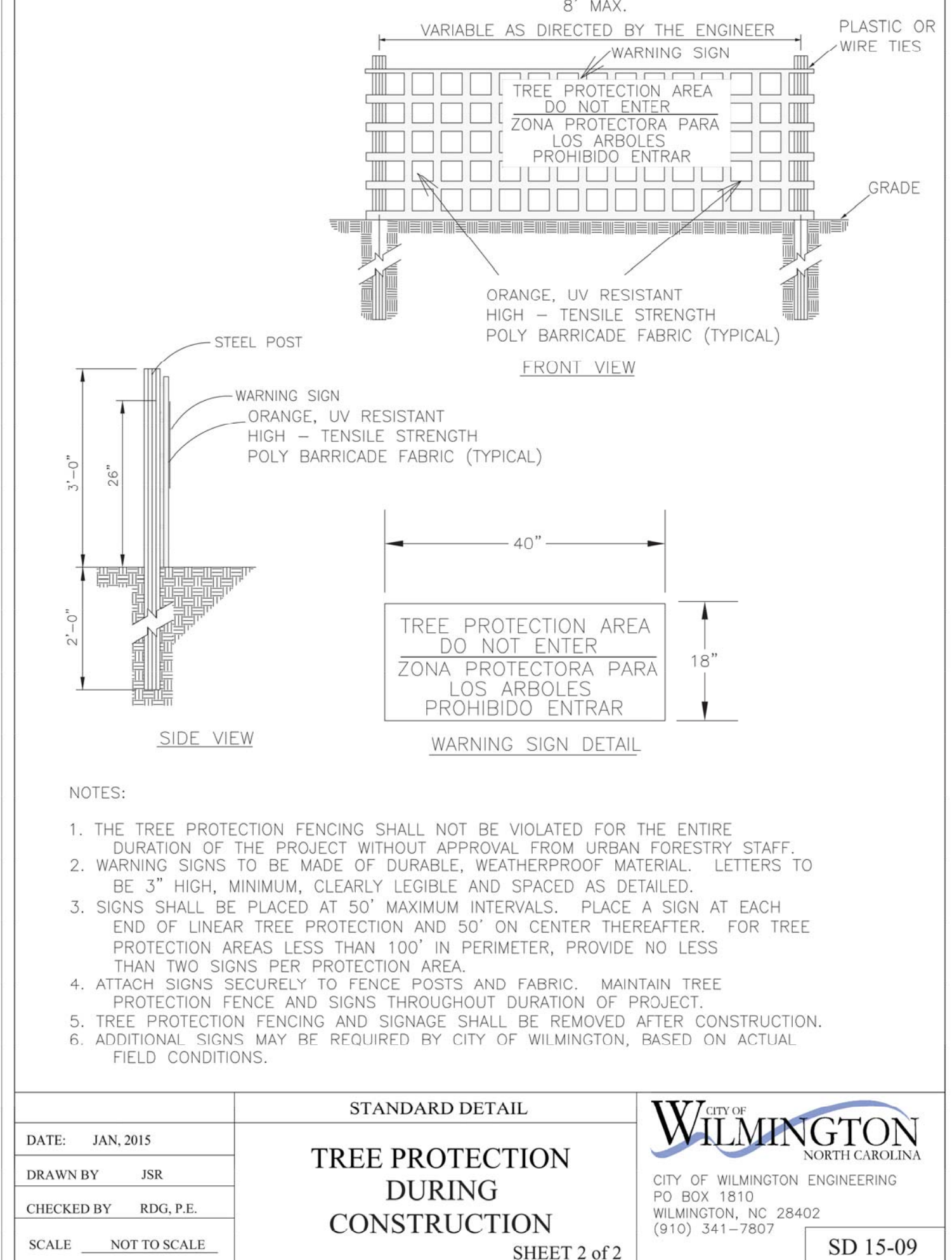
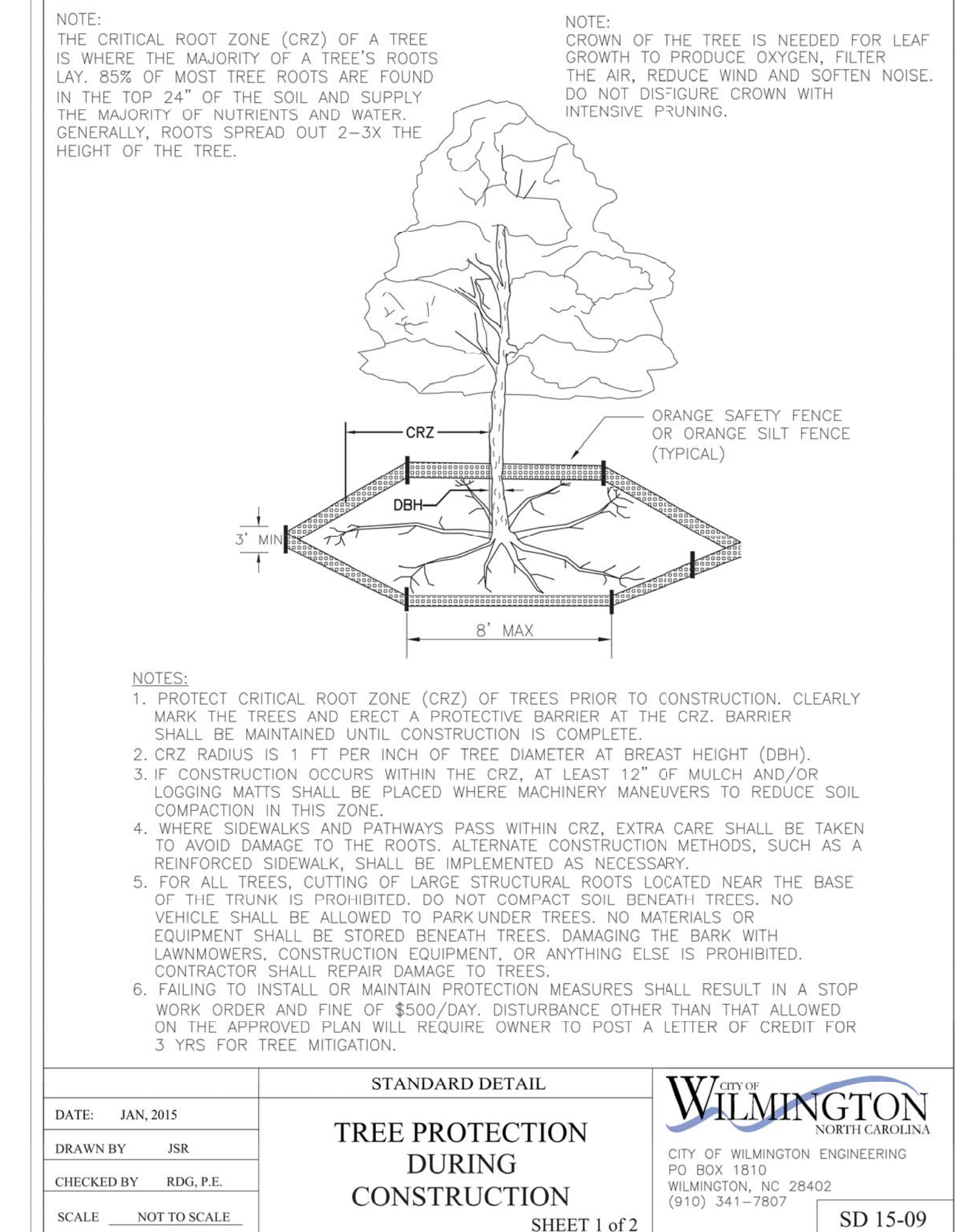
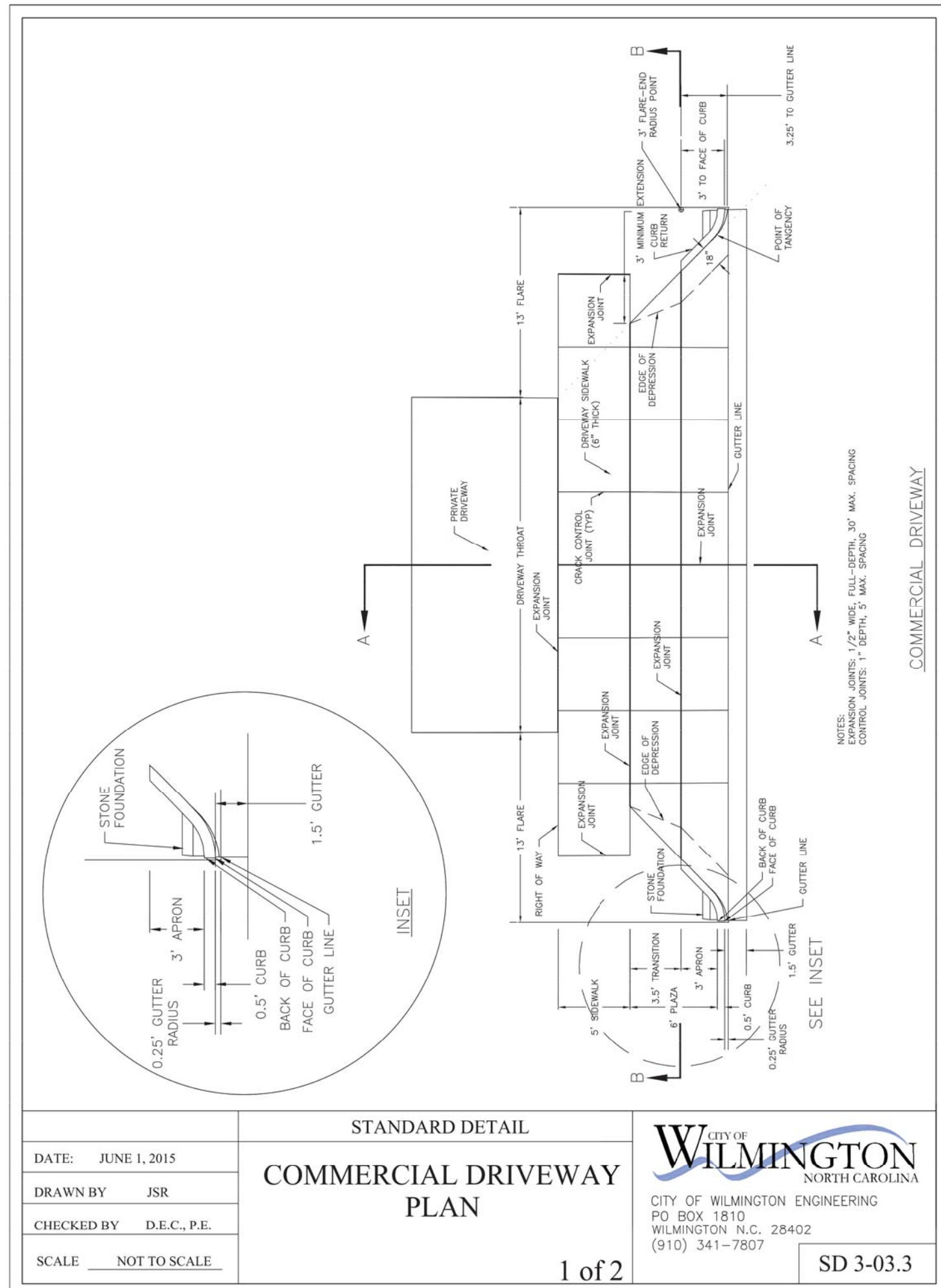
DATE: 11-22-18
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 17-0434



LEGEND

- EXISTING BOUNDARY
- CENTERLINE OF RIGHT OF WAY
- CONTOUR LINE & ELEVATION
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING STORM DRAIN
- EXISTING TREE
- PROP STORM DRAIN
- PROP FIRE HYDRANT
- PROP GATE VALVE
- PROP WATER METER
- PROP SANITARY SEWER & MANHOLE
- PROP WATER MAIN
- EX. ASPHALT TO REMAIN
- PROP BUILDING FOOTPRINT
- PROP PERVIOUS SIDEWALK
- PROP ASPHALT
- PROP CONCRETE
- EXISTING CONCRETE





Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

SITE PLAN DETAILS
STUDIO 17 APARTMENTS

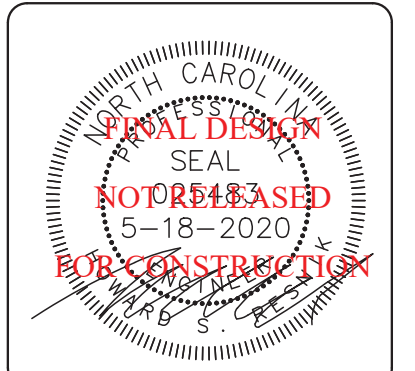
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: MOSLEY PARK, LLC
1319 MILITARY CUTOFF
SUITE CC PMB 172
WILMINGTON, NC 28405

SITE PLAN DETAILS
STUDIO 17 APARTMENTS

LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: MOSLEY PARK, LLC
1319 MILITARY CUTOFF
SUITE CC PMB 172
WILMINGTON, NC 28405



REV.	NO.	DATE	BY	REMARKS
1	1	5-18-19	RLW	REVISED PER IRC COMMENTS
2	2	1-16-20	MRB	REVISED SHEET NUMBERING PER NEW CTRIA DETAILS
3	3	5-18-20	RLW	PLOTTED FOR IRC SIGNATURE

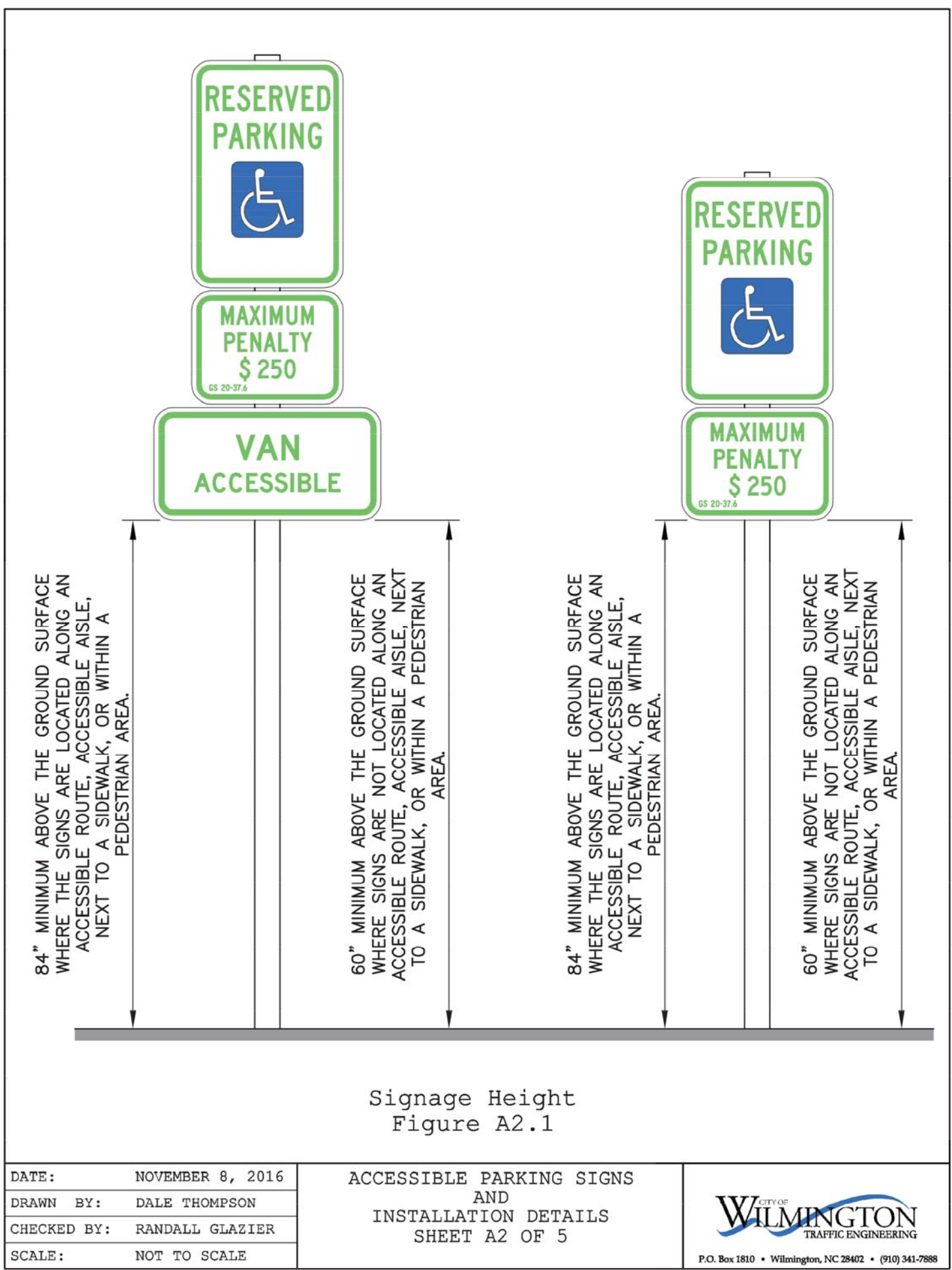
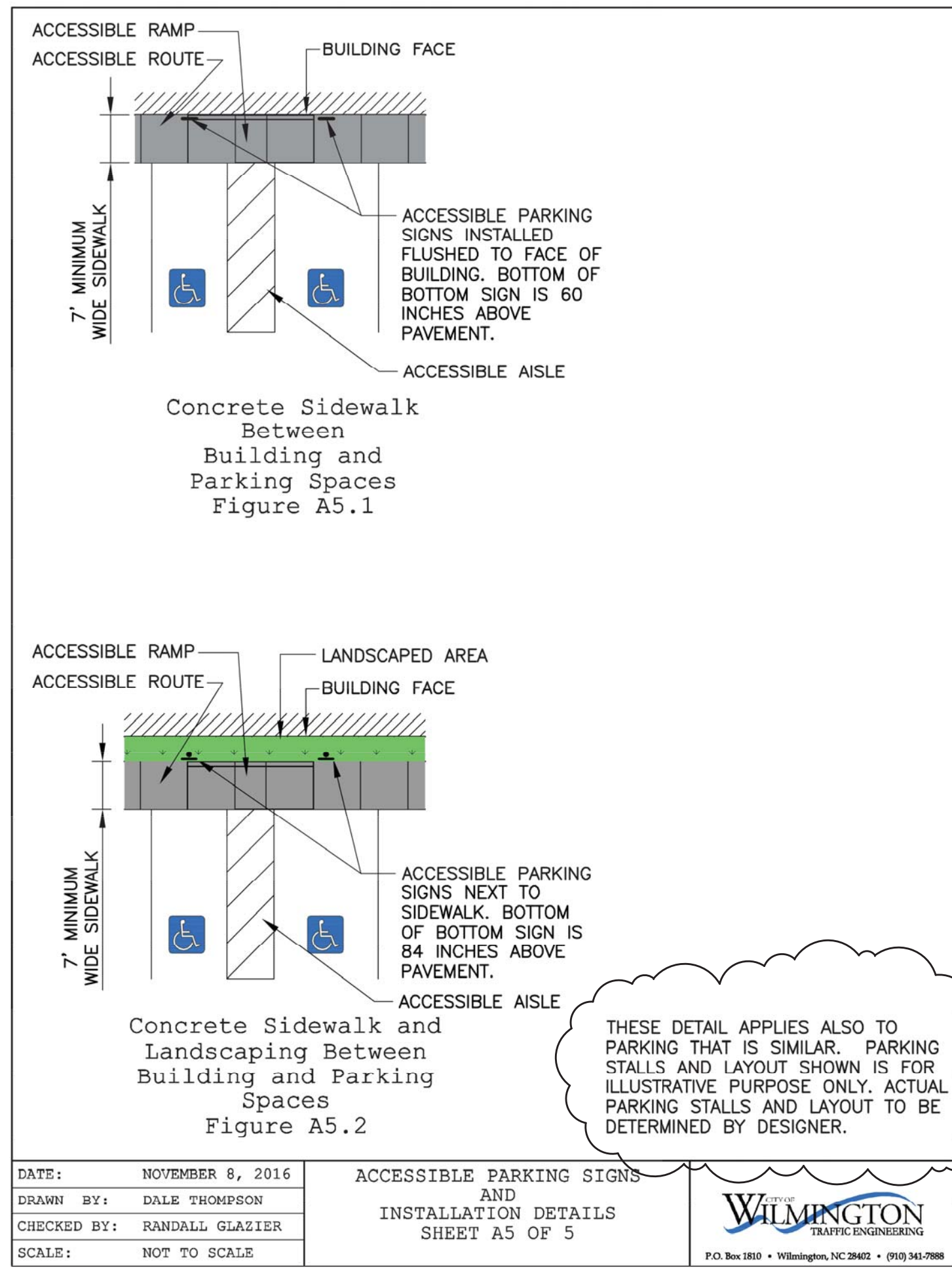
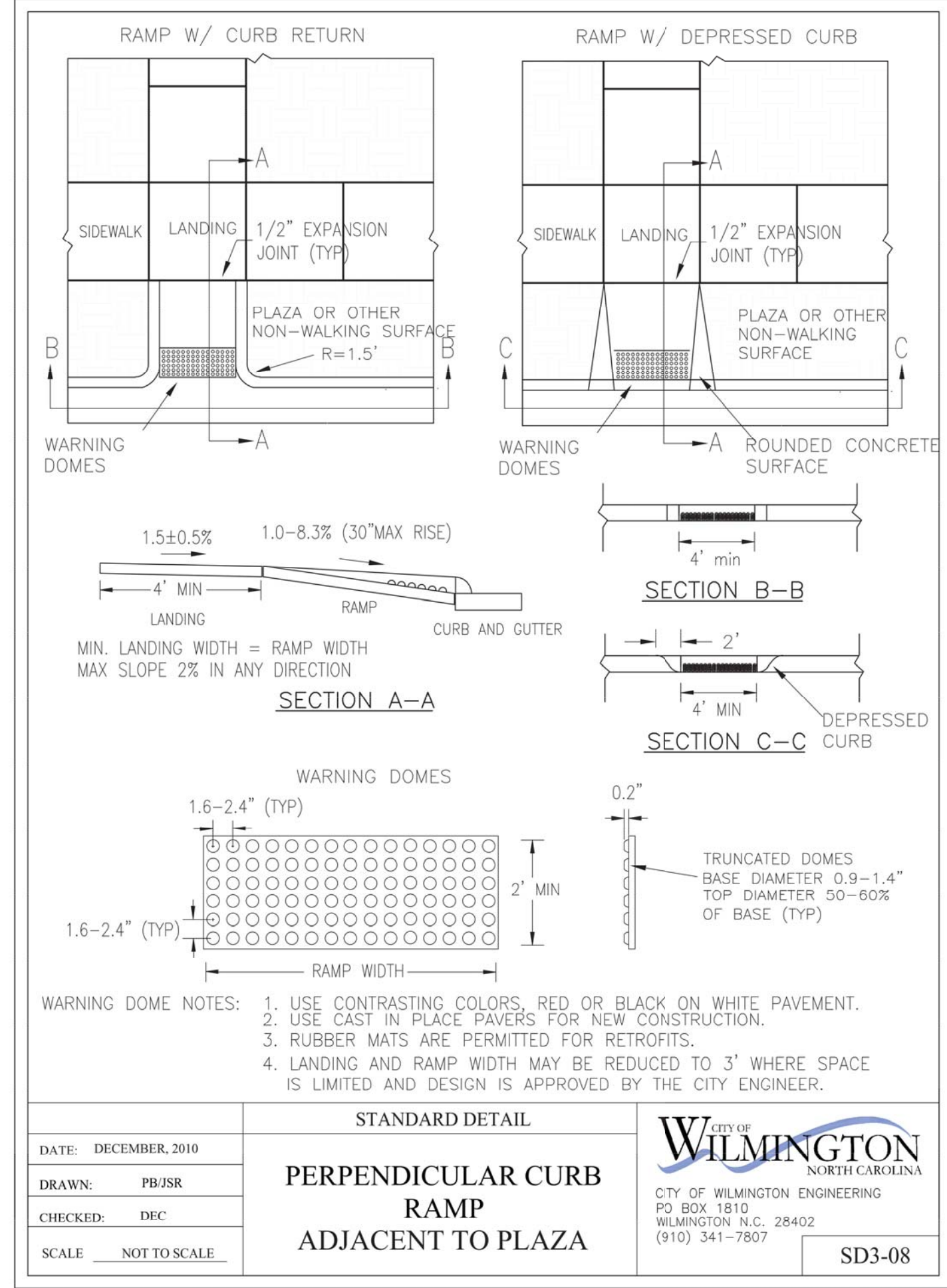
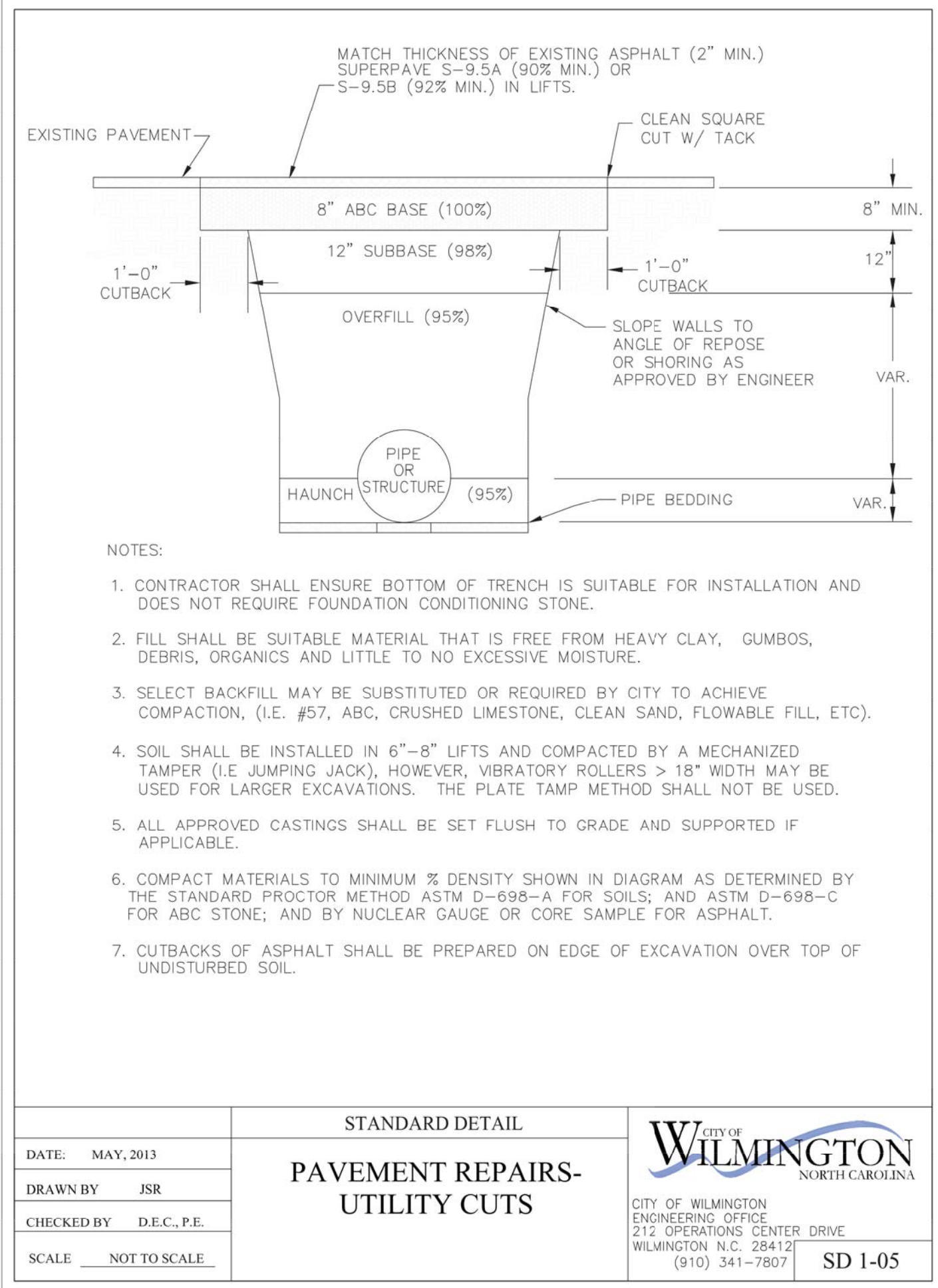
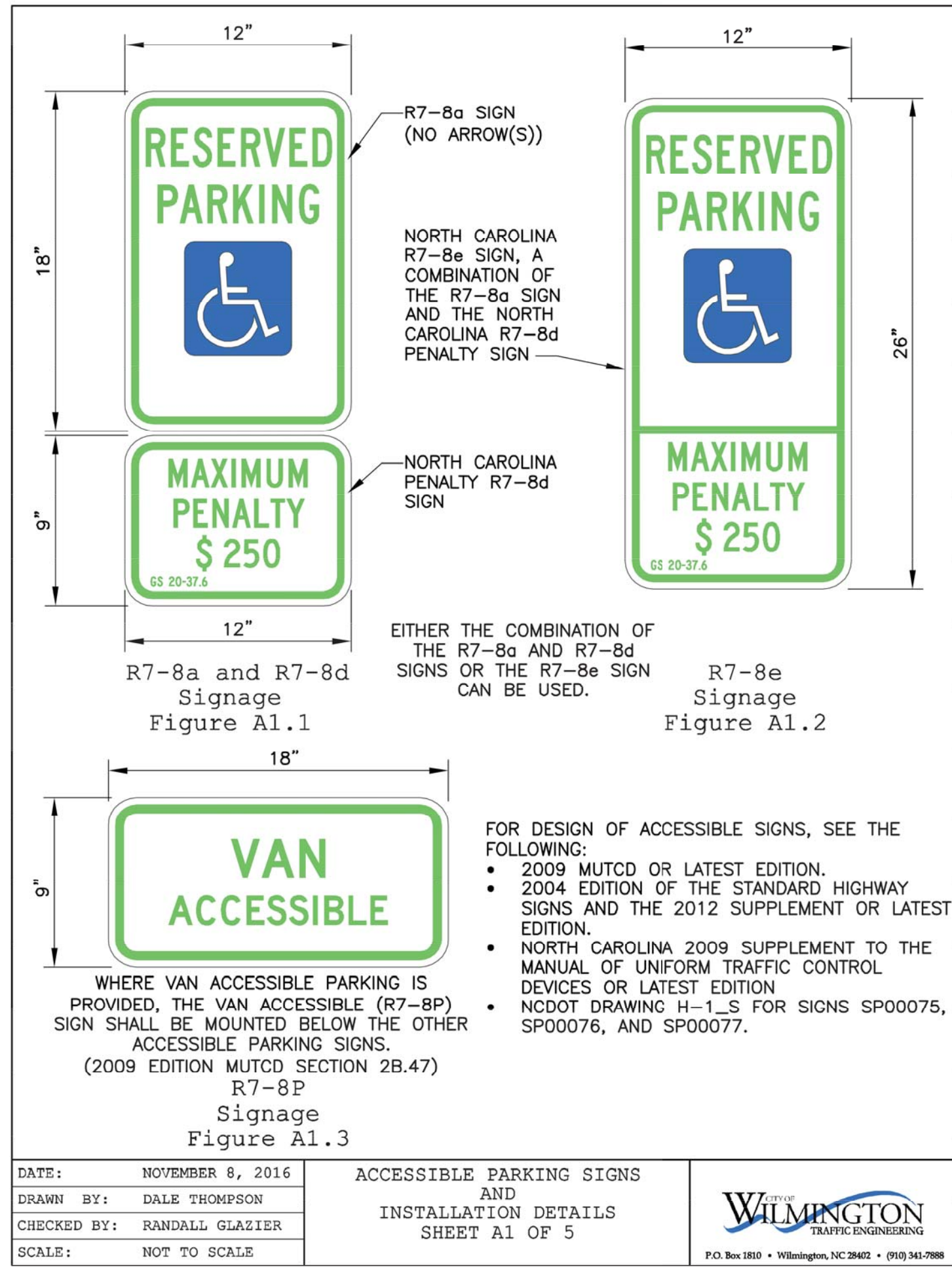
DATE: 1-22-18

HORIZ. SCALE: AS NOTED
VERT. SCALE: N/A

DRAWN BY: RLW

CHECKED BY: HSR

PROJECT NO.: 17-0434



Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

SITE PLAN DETAILS
STUDIO 17 APARTMENTS

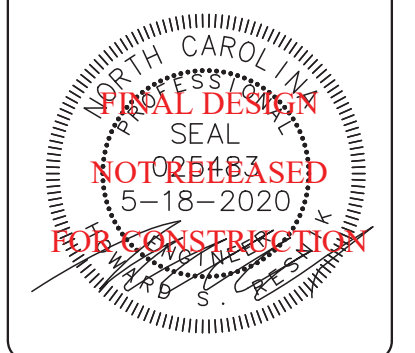
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: MOSLEY PARK, LLC
1319 MILITARY CUTOFF
SUITE CC PMB 172
WILMINGTON, NC 28405

SITE PLAN DETAILS
STUDIO 17 APARTMENTS

LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: MOSLEY PARK, LLC
1319 MILITARY CUTOFF
SUITE CC PMB 172
WILMINGTON, NC 28405



REV. NO.	DATE	BY	REMARKS
5	5-18-20	RLW	PLOTTED FOR THE SIGNATURE
4	1-18-19	MRB	REVISED SHEET NUMBERING PER NEW CPDA DETAILS
3	11-11-18	RLW	REVISED PER NHC BUILDING COMMENTS
2	5-7-18	RLW	REVISED PER TRC COMMENTS
1	3-21-18	RLW	REVISED PER TRC COMMENTS

DATE: 1-22-18
HORIZ. SCALE: AS NOTED
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 17-0434

16th Street

EXISTING DRIVEWAY AND SIDEWALK
BROKEN PANELS TO BE REMOVED AND REPLACED
SIDEWALK CROSS SLOPE TO MEET ADA
AND COW REQUIREMENTS

16th Street

1/2 MORRIS
10K 1140 PG 1059
7-029-013-000
SE - RESIDENTIAL
ZONING R5

1/2 JONES
10K 3898 PG 325
7-029-002-000
SE - RESIDENTIAL
ZONING R5

N/F MOSLEY PARK LLC
DEED BOOK 4621 PG 113
R05407-028-003-000
LANDUSE - VACANT
ZONING UMX

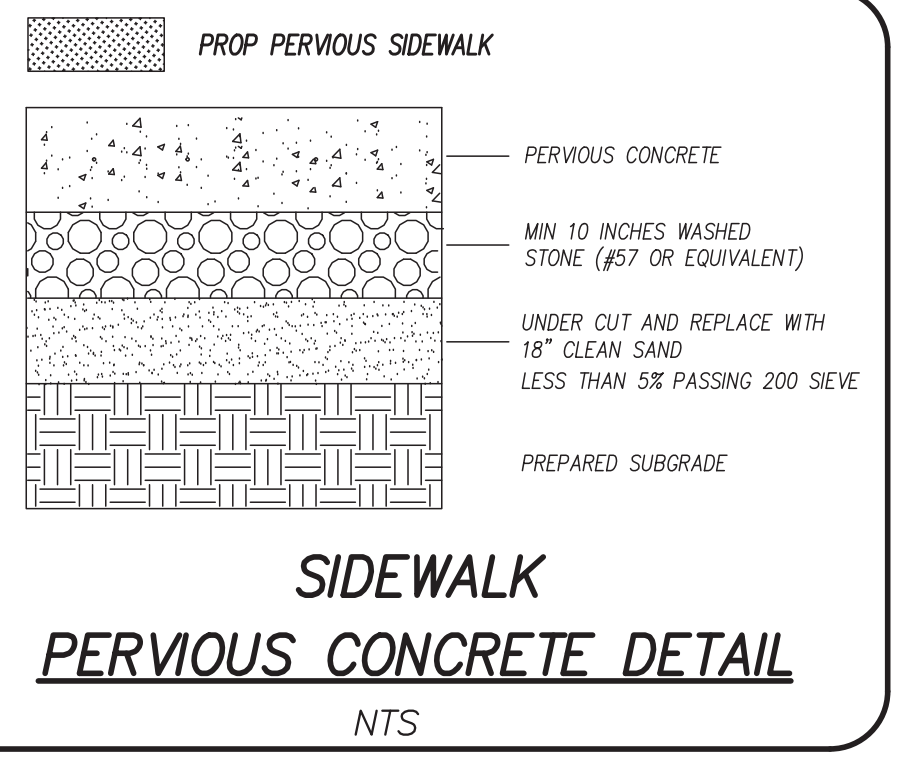
N/F CHURCH OF GOD
DEED BOOK 1045 PG 735
R05407-029-004-000
LANDUSE - CHURCH
ZONING UMX

17th Street

17th Street

GRADING KEY

- 19.52 BC - EXISTING ELEVATION
- 19.52 BC - PROPOSED FINISH GRADE
- SW - SIDEWALK
- BC - BACK OF CURB
- TC - TOP OF CURB
- TG - TOP OF GRADE
- EP - EDGE OF PAVEMENT
- GS - GROUND SHOT
- TSW - TOP OF SIDEWALK
- GL - GUTTER LINE
- EC - EDGE OF CONCRETE



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name _____ Date _____
Planning _____
Traffic _____
Fire _____

CSD ENGINEERING

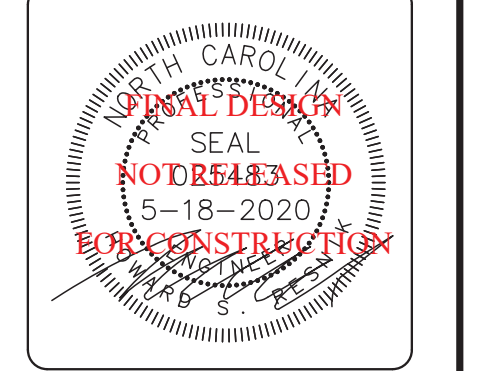
LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

GRADING PLAN FOR
STUDIO 17 APARTMENTS

LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

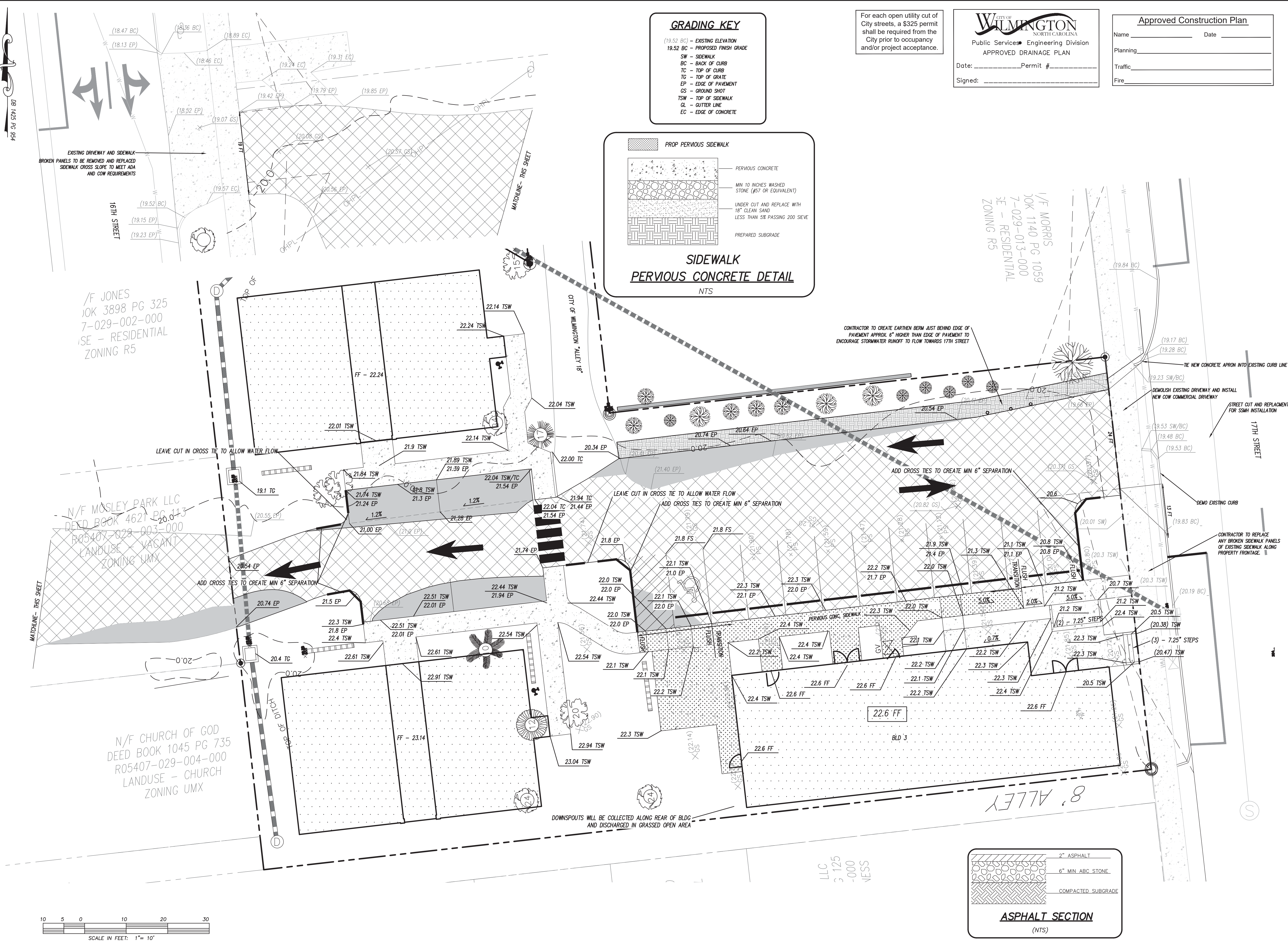
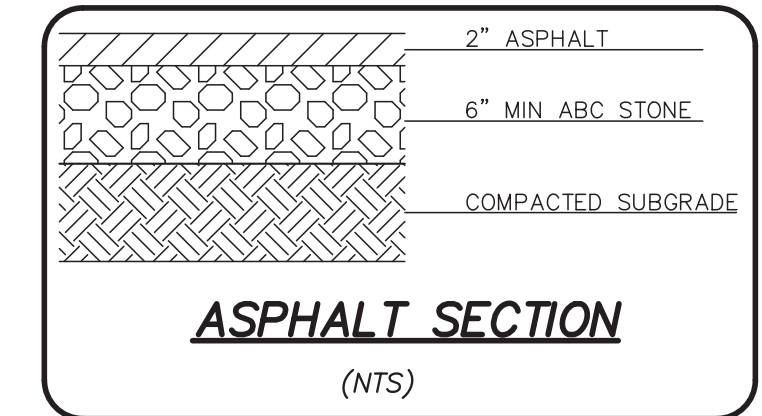
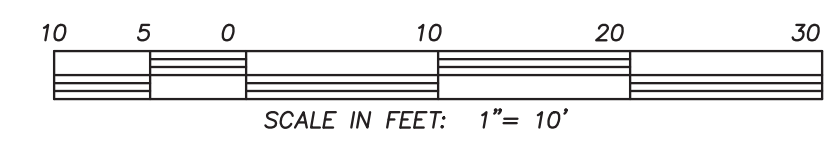
OWNER: MOSLEY PARK, LLC
1319 MILITARY CUTOFF
SUITE CC PMB 172
WILMINGTON, NC 28405

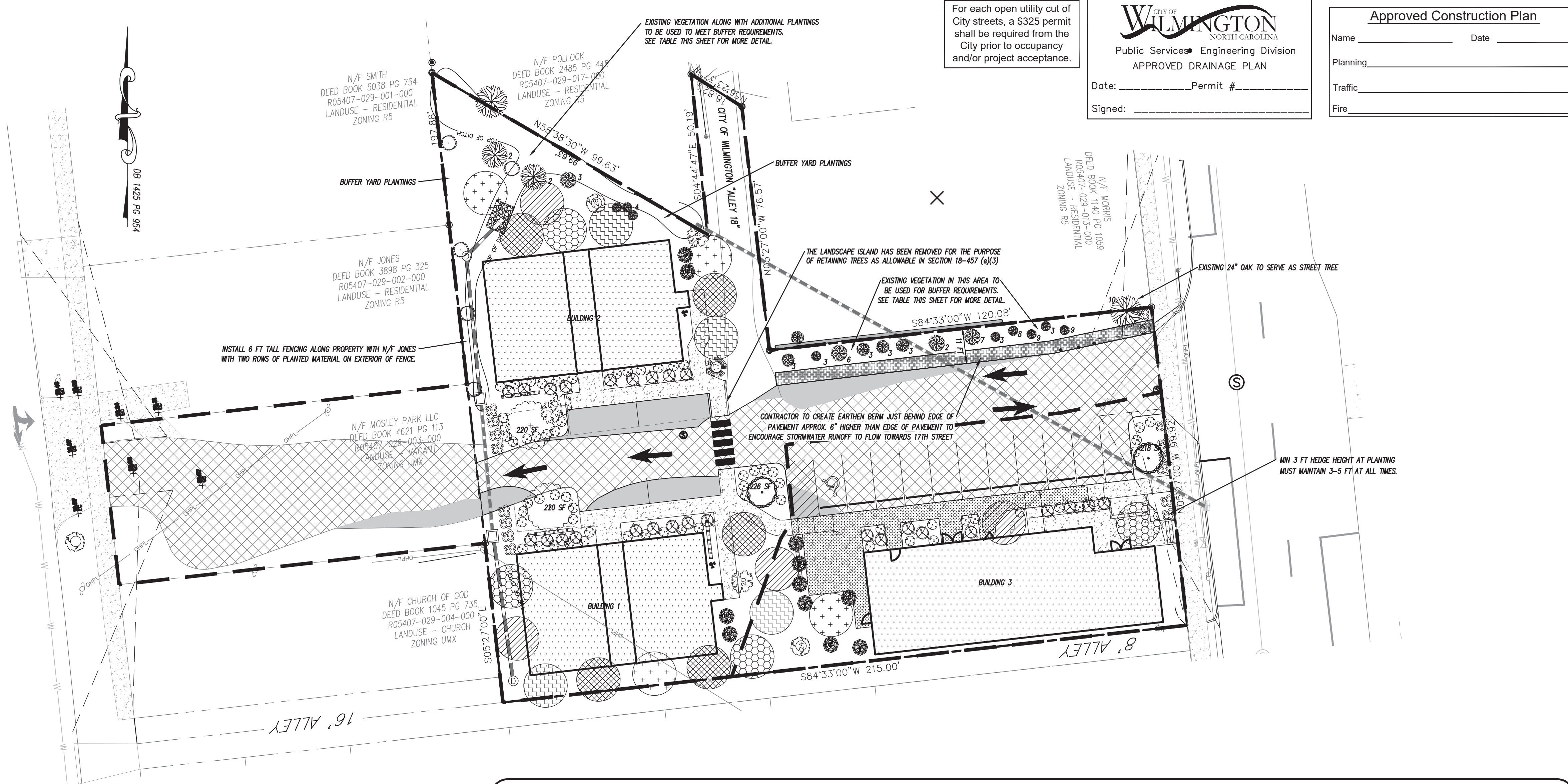


REV. NO.	DATE	BY	REMARKS
11	5-18-20	RLW	FLUTED FOR THE SIDEWALK, ADDED PHASE LINES, PERVIOUS CONCRETE
10	5-18-20	RLW	ADDED PERVIOUS CONCRETE SIDEWALK
9	2-10-20	RLW	REVISED SIDEWALK ALONG BLD 3
8	1-21-20	RLW	ADDED STAIR ELEVATION SHOTS
7	1-22-20	RLW	REVISED GRADES ALONG WESTERN PARKING AREA OF SITE
6	1-22-20	RLW	REVISED GRADES ALONG NEW BUILDING WHERE EX. BUILDING WAS DEMO.
5	1-18-19	MRB	REVISED SHEET NUMBERING PER NEW CTRIA DETAILS
4	7-11-18	RLW	REVISED PER TRC COMMENTS

DATE: 1-22-18
HORZ. SCALE: 1" = 10'
VERT. SCALE: N/A

DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 17-0434





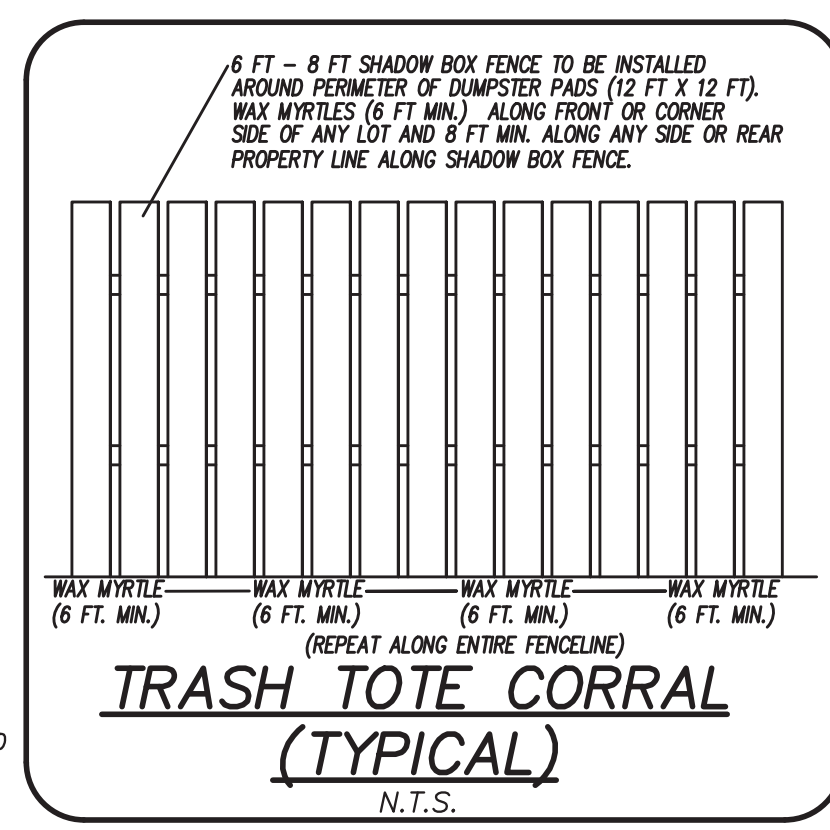
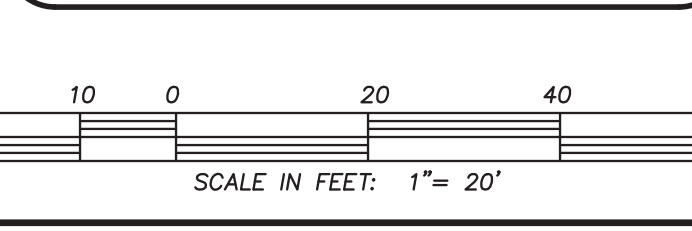
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services Engineering Division
 APPROVED DRAINAGE PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

LANDSCAPING NOTES:

FOUNDATION PLANTINGS
 NORTH SIDE BUILDING 1
 BUILDING FACE = 1,800 SF
 1,800 X 0.12 = 216 SF REQ'D, 216 SF PROVIDED.
 SOUTH SIDE BUILDING 1
 BUILDING FACE = 1,800 SF
 1,800 X 0.12 = 216 SF REQ'D, 216 SF PROVIDED.
 NORTH SIDE BUILDING 3
 BUILDING FACE = 2,715 SF
 2,715 X 0.12 = 326 SF REQ'D, 336 SF PROVIDED.
STREET TREES
 100 - 24 = 76 FT
 76 / 30 = 2.5 STREET TREES REQUIRED
 REQUESTING PAYMENT IN LIEU FOR STREET TREES DUE TO SITE CONSTRAINTS, LESS THAN 3 FT FROM BACK OF CURB TO EXISTING SIDEWALK.
PARKING LOT SHADING
 20% SHADING REQ'D FOR PARKING AREAS.
 7,218 PARKING AREA X 20% = 7,218 X .2 = 1,444 SF REQ'D CANOPY
 ~ 707 SF FOR CANOPY TREE.
 1,444 / 707 = 2.0 OR 2 CANOPY TREES; 2 CANOPY TREES PROVIDED.
TREE MITIGATION
 SEE EXISTING CONDITIONS SHEET
 33.6 - 13 = 20.6 MITIGATION TREES REQUIRED.
 21 MITIGATION TREES SHOWN



EXISTING BUFFER VEGETATION

ID #	DESCRIPTION
2	OLEANDER
3	LIGUSTRUM
4	POPLAR SHRUBS
6	PECAN TREE
7	14" OAK
8	CRAPE MYRTLE
9	PALM
10	24" LIVE OAK

NOTE: APPROXIMATE LOCATION AND DESCRIPTION OF EXISTING VEGETATION PROVIDED TO CSD ENGINEERING BY OWNERS.

Proposed Plant Table

SHRUBS					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
PH1 10	☼	<i>Ilex crenata</i>	STEEDS HOLLY	MIN. 3 FT IN HEIGHT	PARKING AREA SCREENING
PH2 6	☼				
PH1 25	☼				
PH2 4	☼	<i>Muhlenbergia capillaris</i>	PINK MUHLY	3 GAL.	PARKING AREA GROUND COVER

INTERIOR PARKING TREE					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
PH1 1	☉	<i>Ulmus parvifolia</i>	ALLEE ELM	3" DBH	INTERIOR TREE
PH2 1	☉				

FOUNDATION PLANTING					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
PH1 18	☼	<i>Ilex vomitoria</i>	DWARF YAUPON	3 GAL.	FOUNDATION
PH2 9	☼				
PH1 23	☼	<i>Muhlenbergia capillaris</i>	PINK MUHLY	3 GAL.	FOUNDATION
PH2 11	☼				

SHADE TREES					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
PH1 2	☉	<i>Quercus virginiana</i>	SOUTHERN LIVE OAK	3" DBH	PARKING SHADING
PH2 -	☉				

DUMPSTER CORRAL & HVAC SCREENING					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
PH1 4	☼	<i>Myrica cerifera</i>	WAX MYRTLE	7 Gal.	SCREENING
PH2 7	☼				

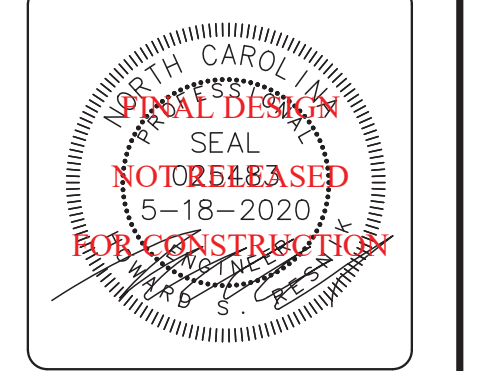
MITIGATION TREES					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
PH1 5	☉	<i>Lagerstroemia indica</i>	CRAPE MYRTLE	3" DBH	MITIGATION
PH2 -	☉				
PH1 2	☉	<i>Carpinus caroliniana</i>	AMERICAN HORNBEAM	3" DBH	MITIGATION
PH2 2	☉				
PH1 3	☉	<i>Ulmus americana 'Princeton'</i>	PRINCETON ELM	3" DBH	MITIGATION
PH2 1	☉				
PH1 3	☉	<i>Ulmus propinqua</i>	EMERALD SUNSHINE ELM	3" DBH	MITIGATION
PH2 1	☉				
PH1 2	☉	<i>Ginkgo biloba (male only)</i>	GINKGO	3" DBH	MITIGATION
PH2 2	☉				

BUFFER YARD					
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Planting Remarks
PH1 5	☉	<i>Nyssa sylvatica</i>	BLACK GUM	3" DBH	BUFFER YARD
PH2 -	☉				
PH1 13	☉	<i>Myrica cerifera</i>	WAX MYRTLE	7 Gal.	BUFFER YARD
PH2 -	☉				

CSD ENGINEERING
 LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

LANDSCAPE PLAN
STUDIO 17 APARTMENTS

LANDSCAPE PLAN
STUDIO 17 APARTMENTS
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA
 OWNER: MOSLEY PARK, LLC
 1319 MILITARY CUTOFF
 SUITE CC PMB 172
 WILMINGTON, NC 28405



REV.	NO.	DATE	BY	REMARKS
9				
8				
7				
6				
5				
4				
3				
2				

DATE: 3-1-18
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 17-0434
 Sheet No. **LP** of **LP**